



LEVEL THREE

Your survey report

Property address

West Mead, Manor Road, Wirral, Merseyside,
United Kingdom, CH63 1JA

Client's name

SMRE Property

Inspection date

01/01/2025

Surveyor's RICS number

6685548

3

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A

About the inspection

This RICS Home Survey – Level 3 has been produced by a surveyor, who has written this report for you to use. If you decide not to act on the advice in this report, you do this at your own risk.

A

About the survey

As agreed, this report will contain the following:

- a thorough inspection of the property (see 'The inspection' in section M) and
- a detailed report based on the inspection (see 'The report' in section M).

About the report

We aim to give you professional advice to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading the property;
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects;
- propose the most probable cause(s) of the defects, based on the inspection
- where practicable and agreed, provide an estimate of costs and likely timescale for identified repairs and necessary work, and
- make recommendations as to any further actions to take or advice that needs to be obtained before committing to a purchase.

Any extra services we provide that are not covered by the terms and conditions of this report must be covered by a separate contract.

About the inspection

- We carry out a desk-top study and make oral enquiries for information about matters affecting the property.
- We carefully and thoroughly inspect the property using reasonable efforts to see as much of it as is physically accessible. Where this is not possible an explanation will be provided.
- We visually inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access. We examine floor surfaces and under-floor spaces, so far as there is safe access and with permission from the owner. We are not able to assess the condition of the inside of any chimney, boiler or other flues.
- If we are concerned about these parts of the property that the inspection cannot cover, the report will tell you about any further investigations that are needed.
- Where practicable and agreed, we report on the cost of any work for identified repairs and make recommendations on how these repairs should be carried out. Some maintenance and repairs that we suggest may be expensive.
- We inspect the inside and outside of the main building and all permanent outbuildings. We also inspect the parts of the electricity, gas/oil, water, heating, drainage and other services that can be seen, but these are not tested other than normal operation in everyday use.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage, and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in parts D, E, F and G, we describe the part that has the worst condition rating first and then outline the condition of the other parts.

 **Reminder**

Please refer to your **Terms and Conditions** received on the

1st Jan 2025

 for a full list of exclusions.



About the inspection

Surveyor's name

Steven James

Surveyor's RICS number

6685548

Company name

SMRE Property Ltd

Date of the inspection

1st Jan 2025

Report reference

Sample Level 3 report

Related party disclosure

We are not aware there is any conflict of interest as defined in the RICS Valuation Standards and the RICS Rules of Conduct.

Full address and postcode of the property

West Mead
Manor Road
Wirral
Merseyside
United Kingdom
CH63 1JA

Weather conditions when the inspection took place

The weather at the time of our inspection was overcast but dry and weather conditions had previously been varied for an extended period.

Status of the property when the inspection took place

The property was unoccupied at the time of inspection. There were, however, fitted floor coverings present in areas.

B

Overall opinion

This section provides our overall opinion of the property, highlighting areas of concern, and summarises the condition ratings of different elements of the property. If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here. It also provides a summary of repairs (and cost guidance where agreed) and recommendations for further investigations.

Important note

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular section L, 'What to do now', and discuss this with us if required.

B

Condition ratings

Overall opinion of property

This property is considered to be a reasonable proposition for purchase provided you are prepared to accept the cost and inconvenience of dealing with the various repair/improvement works reported. These deficiencies are common in properties of this age and type. Provided that necessary works are carried out to a satisfactory standard I see no reason why there should be any special difficulty on resale in normal market conditions. It should be noted that this survey is not a valuation and our recommendation is based solely on the condition of the property.

It is important that the report should be considered in its entirety before proceeding. If there are any points in the report which require clarification or on which you require further advice, please do not hesitate to contact the writer. This report should be construed as a comment upon the overall condition of the property and is not an inventory of every single defect.

The report has been prepared having due regard to the age and type of the building. The repairs referred to within the body of the report are those which are typically found in properties of this age and design. This does not mean that they can be ignored, since more serious problems could otherwise develop.

This report reflects the condition of the various parts of the property at the time of our inspection. It is possible that defects could arise between the date of the survey and the date upon which you take occupation, and it must be accepted that this report can only comment on what is visible and reasonably accessible to the surveyor at the time of inspection.

The legal enquiries in the 'Issues for your Legal Advisers' section later in the report should be noted in full and all enquiries should be completed prior to a legal commitment to purchase.

The property is of an age and type where a degree of ongoing maintenance should be anticipated. As with any property, it is vital that the main fabric of the building is maintained in a watertight condition and in order to achieve this all major structural elements will require regular overhaul and repair. Brickwork, stone work, jointing and render should be regularly inspected and repaired, flashings redressed and defective/slipped roofing tiles repaired or replaced as necessary. Rainwater goods should be regularly cleaned, resealed and realigned and external joinery will need to be redecorated frequently with decayed sections being cut out and replaced. Paintwork should be maintained in a good condition. It is also vital that all services serving the property are regularly maintained and upgraded in order to comply with prevailing current regulations.

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.



Documents we may suggest you request before you sign contracts

There are documents associated with the following elements. Check these documents have been supplied by your solicitor before exchanging contracts.

Element no.	Document name	Received
1	See Section H.	



Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Element no.	Element name	Comments (if applicable)
E3	Walls and partitions	
E5	Fireplaces, chimney breasts and flues	
E6	Built-in fittings	
E7	Woodwork	
F1	Electricity	
F2	Gas/oil	
F4	Heating	
F5	Water Heating	
F6	Drainage	

B

Condition ratings

2

Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing, but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.

Element no.	Element name	Comments (if applicable)
D2	Roof coverings	
D3	Rainwater pipes and gutters	
D4	Main walls	
D5	Windows	
D6	Outside doors	
D8	Other joinery and finishes	
D9	Other outside the property	
E1	Roof structure	
E2	Ceilings	
E4	Floors	
E8	Bathroom fittings	
E9	Other inside the property	

1

Elements with no current issues

No repair is currently needed. These elements listed here must be maintained in the normal way.

Element no.	Element name	Comments (if applicable)

NI

Elements not inspected

We carry out a visual inspection, so a number of elements may not have been inspected.

Element no.	Element name
D1	Chimney stacks
D7	Conservatory and porches
F3	Water
G1	Garage
G2	Permanent buildings and other structures
G3	Other grounds



Elements not applicable

Elements that have not been inspected.

Element no.	Element name
F7	Common Services

B

Condition ratings

Summary of repairs

Formal quotations should be obtained prior to making a legal commitment to purchase the property.

Repairs	Cost Guidance (optional)
See main body of report.	N/A.

Further investigations

Further investigations should be carried out before making a legal commitment to purchase the property.

Arrange for a precautionary inspection of the septic tank prior to purchase.
Arrange for a precautionary test of the electrical installation.
Arrange for a precautionary test of the gas installation.
Clarify the position of the boundaries.
Complete improvements to internal fittings.
Complete improvements to the bathroom/WC.
Complete repairs to the floors.
Complete repairs to the kitchen.
Complete utility searches prior to purchase.
Confirm a flue liner is present.
Confirm location of internal stop tap.
Confirm maintenance liabilities of the boundary.
Confirm maintenance responsibilities for the shared driveway.
Confirm no history of previous flooding.
Confirm the burner complies with HETAS regulations.
Secure estimate for improvement to rainwater fittings.
Secure quotations for the erection of scaffolding to complete roof repairs.
Seek quotations for repairs to ceilings.
Seek quotations for repairs to the external walls.
Seek quotations for window repairs.
Seek quotations to complete improvements within the roof void.
Seek quotations to repair internal joinery items.

C

About the property

This section includes:

- About the property
- Energy efficiency
- Location and facilities



About the property

Type of property

A traditionally built semi-detached 2 storey house.

Approximate year the property was built

Circa. 1920. The exact date is not known and has been estimated. This can be best ascertained by your legal adviser, who will have access to documentation in this regard.

Approximate year the property was extended

N/A.

Approximate year the property was converted

Circa. 1990 for conversion. The exact date is not known and has been estimated. This can be best ascertained by your legal adviser, who will have access to documentation in this regard.

Information relevant to flats and maisonettes

N/a.

Construction

The external walls are of traditional brick construction.
The main roof is pitched and covered with natural slate.
Internally the floors are of solid and timber construction.

Accommodation

	Living rooms	Bedrooms	Bath or shower	Separate toilet	Kitchen	Utility room	Conservatory	Other
Lower ground								
Ground	2			1	1	1		
First		4	2					
Second								
Third								
Other								
Roof Space								

Means of escape

There are a number of smoke detectors installed. Smoke detectors should be present and maintained at the landing levels to give the earliest possible warning of fire. Further advice can be obtained from the local fire and rescue service. I recommend the smoke detectors are serviced in accordance with the manufacturer's instructions.

First floor windows do appear to be compliant escape windows. Current Building Regulations are not enforced retrospectively, but replacement windows should meet current standards.



Energy efficiency

We are advised that the property's current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

We will advise on the appropriateness of any energy improvements recommended by the EPC.

Energy efficiency rating

D 60.

Issues relating to the energy efficiency rating

We have not prepared the Energy Performance Certificate (EPC). If we have seen the EPC, then we will present the ratings here. We have not checked these ratings and so cannot comment on their accuracy.

Main services

A marked box shows that the relevant mains service is present.



Gas



Electric



Water



Drainage

Central heating



Gas



Electric



Solid fuel



Oil

Other services or energy sources (including feed-in tariffs)

Private drainage See Section F6.

Other energy matters

See Section J.



Location and facilities

Grounds

The property is situated on a predominantly level and regular shaped plot site, with an East facing front aspect.

Gardens are located to the side and rear of the property.

It is thought that off road parking is available next to the property; legal advisers to confirm.

Gardens to the side and rear are enclosed with a combination of timber fencing/wire fencing/hedging and masonry walls.

External access is provided to the rear garden by a timber gate located to the side of the property.

You should confirm rights of ownership and responsibilities for maintenance of all boundary structures with your legal adviser.

Whilst there was no evidence of any adverse easements, servitudes or wayleaves affecting the property your legal advisers should be asked to verify. See Section H.

Location

The property is in an established residential area convenient for local amenities.

The property is on a busy road, which was subject to road noise and likely to be more noticeable at peak times.

Facilities

The centre of Crewe is approximately 1.5 miles away with comprehensive shopping and transport facilities.

Local environment

My desktop survey confirmed the property to be within flood zone 1 where the risk of flooding is minimal although further advice is available through the Environment Agency website and via your local searches.

My desktop survey revealed the property to be located on subsoil that is stable given normal conditions. However, the top soil is of type which may be subject to seasonal change and given the property's age and shallow foundation depths it is therefore important to ensure drainage connections are sound and that trees and shrubs within influencing distance of the property are regularly maintained in order that ground conditions remain as stable as possible.

My desktop survey revealed the property to be located within an area where the likelihood of radon is lowest.

My desktop survey confirmed that the property is not within an area of past mining activity.

My desktop survey confirmed that the property is within Cheshire Brine Compensation District.

It is understood that the property could be Listed or within a Conservation Area or both. This imposes additional responsibilities in terms of maintenance and alterations either internally or externally. Enquiries should be made initially with the Local Planning Authority in order to seek further guidance if work is proposed. Your legal advisers should provide further advice on such restrictions prior to a legal commitment to purchase.

Materials containing asbestos are present in many buildings, often enclosed and unexposed. The location of potential asbestos containing materials is discussed in the report and may be present elsewhere within the property. The exact nature of the material can only be determined by laboratory testing. There are potential health risks stemming from the inhalation of asbestos fibres and from working with this material. Further advice is available from the Local Authority or the Health and Safety Executive. Specialist advice should be sought by way of further investigations and securing quotations for removal if required before carrying out any works to these components. The cost of renewal may be high.
<https://www.asbestos.com/asbestos/information/>

What to do if you have asbestos in your home: The general rule is to always leave asbestos alone, it is usually safe unless it is damaged or disturbed. Paint indoor materials with an alkali resistant paint such as PVA emulsion, and never sand, drill or saw asbestos materials. Always seek advice before thinking of removing asbestos and follow the basic rules below if carrying out asbestos cement removal work. Do not attempt to remove asbestos lagging, spray coatings or large areas of Insulation Board by yourself as these materials can only be safely removed by a licensed contractor.

Other local factors

None of significance.

D

Outside the property

D

Outside the property

Limitations on the inspection

Comment cannot be given on areas that are covered, concealed or not otherwise readily visible. There may be detectable signs of concealed defects, in which case recommendations are made in the report. In the absence of any such evidence it must be assumed in producing this report that such areas are free from defect. If greater assurance is required on these matters, it will be necessary to carry out exposure works. Unless these are carried out prior to a legal commitment to purchase, there is a risk that additional defects and consequent repair costs will be discovered at a later date.

We have not carried out any geological survey or invasive site investigation and cannot confirm the nature or characteristics of the soil with regard to fill or possible contamination. Normal legal searches should confirm the past use of the site and if instructed, we will advise further.

No beams, lintels or other supporting components were exposed to allow examination. Consequently, we are unable to comment fully upon the condition of these concealed areas and therefore you must accept the risk of unseen defects should you wish to proceed without further investigation.

Please note our inspection was carried out from ground level only and there was therefore a restricted view of the upper elements of the building.

The shape of the building and site constraints restricted the external inspection of the rear outrigger pitch and valley.

D1 Chimney stacks



There are no chimneys provided.

There is a flue that is present within the rear elevation roof slope that is straight to the eye.

See Section E5 regarding chimney flues, fireplaces and fitted appliances. You should cap and ventilate disused flues in order that damp penetration does not occur within the flue structure. Flues you intend to use should be swept clean prior to use and if necessary topped with a suitable cowl.

The flashings consist of lead. There is no evidence of internal leakage at these positions to suggest that they are defective. The lead flashings appear adequately dressed to the roof covering.



Metal flu.

D2 Roof coverings

2

The main pitched and double pitched roof slopes are covered in natural slate.

The roof edge is finished in tile/cement.

The under cloak appears to be of cement fibre/composite board construction.

Modern lightweight timber trussed rafters structural integrity relies on the timbers acting together as a single unit; no individual member should ever be removed.

The roofline appears to be level and within normal tolerances with no signs of any significant deflection or undulation noted, indicating that the roof structure is adequate for the current roof covering. See Section E1 regarding the roof structure.

I am pleased to report the roof coverings appear to be complete with no signs of any slipped, missing or damaged covering noted.

The mortar to the roof edge is cracked in areas. Whilst no remedial attention is required at present, the situation should be checked occasionally and the repairs addressed when necessary.

Ventilation is a requirement under current regulations, and is provided by vented soffits.

There is moss growth present on the roof slopes. Moss growth should be cleaned off as soon as possible. Moss growth impedes the run-off of rainwater and leads to gutter blockage and can cause water penetration which may lead to rot or other defects in surrounding timbers.

The ridge tiles appear firmly fixed in position, however, following removal of the moss some repointing of the ridge tiles may be necessary.

The visible valleys appear to be in a satisfactory condition where viewed from ground level. Moss should be cleared from valleys to prevent overspill. Valley gutters can fail unexpectedly and regular maintenance is necessary. When repairs are required costs are likely to be significant and it may be prudent to arrange for a more detailed inspection prior to purchase.

The rear elevation small outrigger valley gutter could not be fully seen and therefore comments could not be made on its condition. To gain access would involve using a long builder's ladder, which is outside the scope of the normal survey.



Moss present to ridge tiles.



Cracked verge mortar.

D3 Rainwater pipes and gutters

2

Periodic inspection and adequate maintenance is necessary to minimise against the potential for rainwater fittings becoming defective and create the circumstances for dampness. This can lead to deterioration in the building fabric and the development of rot in timbers. You should ensure that gutters are seasonally unblocked of moss and other debris.

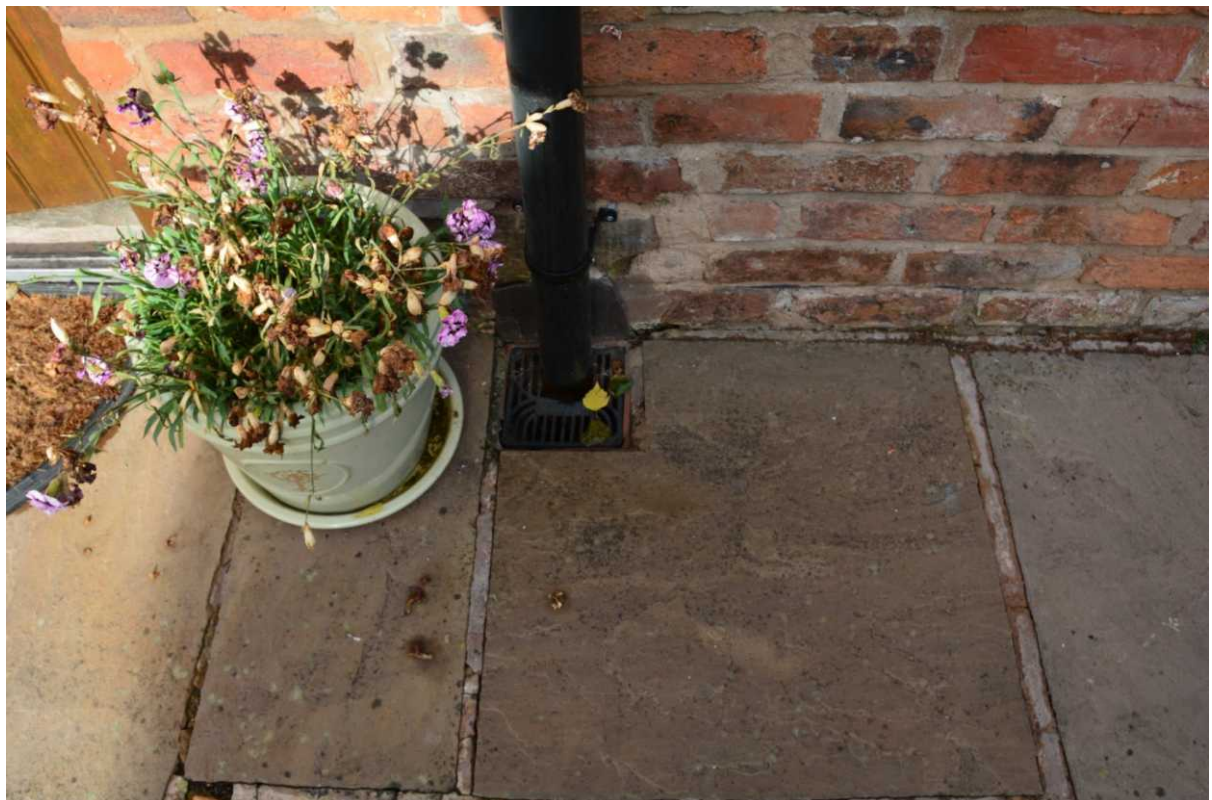
The rainwater goods are formed in uPVC and appear to be in reasonable condition. Please note we cannot comment on the state and condition of underground drainage runs where downpipes run to sealed gulleys. Plastic gutters are relatively maintenance free but do require regular cleaning out and periodic re-sealing of their joints. Downpipes need to be checked regularly to ensure that the joints have not come apart. PVC rainwater goods are jointed using rubberised gaskets which tend to perish over time. Periodic maintenance will be required.

I am pleased to report that rainwater goods appear to be adequately aligned with no signs of any significant twisting or distortion noted. A suitable number of support brackets appear to have been provided at regular intervals.

Rainwater discharges into grated gulleys, which should be provided with balloon terminals to prevent the build-up of debris.

Please note it was not raining during the course of the inspection so we cannot confirm that rainwater goods are watertight or suitably aligned. It is recommended that you inspect rainwater goods during a period of heavy rain in order to establish their effectiveness.

In view of the trees in the surrounding areas, it is recommended that gutters are annually inspected, preferably after autumn leaf fall, to ensure the gutters and downpipes are not blocked. I recommend the fitment of leaf guards to gutter channels to prevent the build-up of leaves in the guttering, enabling water to discharge.



Rainwater discharge to grated gully.

D4 Main walls

2

The foundations have not been exposed. Whilst there is a risk of unseen defects, there are no above ground signs of defective foundations. The building is likely to be constructed upon a subsoil subject to seasonable shrinkage and expansion which can cause structural movement.

Where there are openings in the walls, either brick arches, beams or lintels should transfer the weight from above and around the openings to the support point. The thrust created at the support point is resisted by the weight of the masonry on each side of the opening.

An inspection of the external surfaces of the main walls was made from ground level, with the aid of binoculars, a spirit level and a standard surveyor's ladder. The inspection was also facilitated from readily accessible windows.

Dependent upon the orientation of the elevations, different parts of the building can be more prone to external factors. For example, warm and wet winds typically come from the west and south-west, which are likely to create the potential for weathering and penetrating dampness and rot. North and north-eastern elevations tend to be more cold and relatively dry, although can be more prone to the weathering effect from frost damage or condensation. Moss build-up on roofs, which can wash off into gutters, is also likely to be more pronounced on north and north-eastern elevations. South and south-westerly elevations are generally more exposed to high temperatures during the day and weathering, such as expansion or cracking in masonry or paint finishes, is a possibility.

In a property of this age it is probable that the foundations are shallow by modern standards. Shallow foundations are at an increased risk from subsoil movement. Roots from trees and shrubs can also have a contributory effect to the condition of the foundations. The risk of movement can be reduced by both maintaining the drainage in good condition and controlling the growth of trees, shrubs and hedges.

Walls are typically conventional load bearing masonry which transfer loads to the foundations. Solid walls rely on the thickness of the material to prevent weather penetration. The principle is that weather hitting the wall will be soaked up by the masonry. Provided that the wall is not too exposed and that there is sufficient heat and air movement, the water will evaporate away before it penetrates completely through to the wall. If the walls are particularly exposed or inadequately maintained penetrating dampness may occur. Thin walls are more vulnerable to penetrating dampness.

Stone is noted throughout the property. At the time of inspection, they were in overall reasonable condition. The use of stone is usually made of local materials varying from limestone and flint to granite and sandstone. However, the quality of building stone varies greatly, both in its endurance to weathering, resistance to water penetration and in its ability to be worked into regular shapes before construction. Worked stone is usually known as ashlar, and is often used for corners in stone buildings. Granite is very resistant to weathering, while some limestones are very weak. Other limestones, such as Portland stone, are more weather-resistant.

Whilst not visible throughout the property, the damp-proof course appears to be of PVC where visible. It is recommended this is positioned approximately 150mm above ground level although as the damp-proof course was not visible throughout, we are unable to confirm if this is achieved.

Holes have been drilled into the external walls at low level which appears to indicate a chemical damp-proof course has been installed to such areas. The incorporation of a chemical damp-proof course in a property of this age is not uncommon. Recommendations made in Section E3 of this report must be concluded prior to making any legal commitment to purchase the property.

Given the age of the dwelling it is unlikely the main walls are insulated in accordance with current regulations and there is no evidence to suggest that insulation has been upgraded since the date of construction.

Whilst the EPC register states suspended floors, we saw no evidence of this and therefore there is no requirement for sub-floor ventilation as the ground floor is believed to be of solid construction.

There is no evidence of significant cracking surrounding the window and door openings suggesting the lintels are performing satisfactorily.

In general, there were no signs of any significant structural defects noted to the main walls at the time of inspection.

Walls and openings appear square to the eye with no signs of any significant movement or distortion noted.

I am pleased to report we saw no evidence of any significant cracks or bulges to indicate any failure or uneven loading with the foundations or structure of the subject property at this time.

Areas of worn and missing pointing were identified to a number of locations including to the lower courses on the front elevation. Contractors should be instructed to provide quotations for raking out and repointing defective brickwork.

Efflorescence can be seen on the external wall surfaces, as noted by white staining. This is an accumulation of naturally occurring salts in the bricks which are drawn to the external surfaces when wetted by rain and remain there upon drying out. The efflorescence does not cause any particular damage to the brickwork. Over a period of time these deposits will gradually disappear. If desired, cleaning off can be done by dry brushing, taking care not to scour the surface of the brickwork.

A number of spalled bricks are present to the external elevations. Spalling occurs when brickwork becomes wet due to rain. If freezing conditions occur before the bricks dry out, the entrapped moisture expands and forces off the hard face of the brick, so exposing the softer inner core. The spalled bricks should eventually be cut out and replaced with new bricks. You should budget for any remedial work that may be required.

I inspected the property during the day. At the time of my inspection no significant sound from adjoining properties was noted.



Remedial DPC.



Spalled brickwork.



Repointing required to lower courses.



Efflorescence.



Sections of stone.

In accordance with RICS guidelines, a sample of windows was inspected in detail.

The windows are of timber construction and appear to be the original installation, to which no significant defects were noted. However, it was noted that the handles to the front lounge appear to be misaligned, stopping the locking mechanism from being engaged. Repair/maintenance will be required. You should budget accordingly.

Although I have inspected a sample of timber, the possibility of hidden defects being present to concealed timbers cannot be entirely ruled out.

External timber elements of a property should be maintained on a three to five yearly cycle to prevent timber decay occurring.

There were no signs of condensation between double glazed panes at the time of inspection. It should be noted, however, that double glazing can be prone to this problem, which is caused by a failure of the seals at the edges of the panes of glass. Over a period of time the seals can deteriorate, causing unsightly condensation/misting between the panes. When this happens there is no remedy other than to replace the defective double glazed panes. There may be guarantees for the installation which could be transferred under the sale.

Toughened glazing appears to be present where required.

You should ensure that your home is a safe environment. Any glazing fitted internally below 800mm above ground level should be fitted with safety glass. All safety glazing should be etched as such. For further details concerning safety glazing you should consult Building Regulations Approved Document K (Protection from falling, collision and impact).

https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/996860/Approved_Document_K.pdf



Alignment needed for handle.

D6 Outside doors (including patio doors)

2

The doors are of timber construction and appear to be the original installation, to which no significant defects were noted.

You should ensure that external timber elements of the property are maintained on a five yearly basis to prevent the onset of timber decay.

There were no signs of condensation between double glazing panes at the time of inspection. It should be noted, however, that double glazing can be prone to this problem, which is caused by a failure of the seals at the edges of the panes of glass. Over a period of time the seals can deteriorate, causing unsightly condensation/misting between the panes. When this happens there is no remedy other than to replace the defective double glazed panes.

Toughened glass is not applicable.

You should ensure that your home is a safe environment. Any glazing fitted externally below 1500mm above ground level should be fitted with safety glass. All safety glazing should be etched as such. For further details concerning safety glazing you should consult Building Regulations Approved Document K (Protection from falling, collision and impact) https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/996860/Approved_Document_K.pdf

Doors open square to the eye with no signs of any significant movement or distortion noted. I recommend you change all locks upon occupation to enhance security.



Timber door.

D7 Conservatory and porches

(NI)

There is no conservatory or porch.

D8 Other joinery and finishes

2

The roof edge is provided with timber fascias to which no significant defects were noted. However, a closer inspection may reveal some deterioration and you should expect that repairs will be necessary prior to redecoration.

The roof edge materials appear to be of timber construction although given the age of the property there is a possibility asbestos may be present beneath the decorative finishes and care should be taken during future maintenance.

External decorations will need regular redecoration, typically on a three- to -five year cycle dependent upon the quality of paint or stain coating.

D9 Other

2

The property has been altered. Legal adviser should confirm that Local Authority approvals were obtained and complied with. The Local Authority should be consulted if relevant approvals and consents including Completion Certificates are not readily available. Whilst there were no signs of obvious inadequacy, there will be further complications should you proceed without the relevant documentation for works which have been carried out.

If Local Authority consents were not required for the alterations to the property, you should confirm that the alterations were completed with the benefit of the usual permitted development rights.

E

Inside the property

Inside the property

Limitations on the inspection

Comment cannot be given on areas that are covered, concealed or not otherwise readily visible. There may be detectable signs of concealed defects, in which case recommendations are made in the report. In the absence of any such evidence it must be assumed in producing this report that such areas are free from defect. If greater assurance is required on these matters, it will be necessary to carry out exposure works. Unless these are carried out prior to a legal commitment to purchase, there is a risk that additional defects and consequent repair costs will be discovered at a later date.

It should be appreciated that infestations or defects may be present or may arise if those already discovered remain untreated in a proper manner.

Please note the limitations to our inspection of the property internally on account of fully-fitted floor coverings were present.

We have not completed an asbestos survey and due to the limitations imposed upon our inspection, the risk of concealed asbestos to pipework or other elements of the building must exist. It may be prudent to arrange for a full asbestos survey as part of your due diligence prior to legal commitment to purchase.

Many walls are dry lined internally and dry lining can often hide dampness and it is not possible to ascertain the condition of the wall behind the dry lining without further exposure work.

My inspection of the roof void was limited to a head and shoulders inspection due to the presence of insulation/access safety restrictions and the risk of unseen defects must exist.

The front and rear elevation double pitched roof frames are concealed within the structure and therefore could not be inspected and the risk of unseen defects must exist.

No comment can be made on concealed roof timbers. It is possible that these may have suffered deterioration. Concealed timbers include the bottom ends of rafters, wall plates and purlin ends.

The roof structure consists of pre-fabricated trussed rafters. No cutting out of these timbers should be contemplated without first seeking advice from a Chartered Structural Engineer or a Building Surveyor.

I am pleased to report we saw no signs of any timber decay to roof timbers that were visible at this time including any wet rot, dry rot or wood-boring insect infestation.

There are gable straps present to provide addition bracing to the roof structure. These are galvanised steel connections which should be spaced along the roof at regular intervals. They should be long enough to be connected to three of the roof timbers.

Secondary weathering consists of a felt membrane that provides secondary weathering from wind driven rain and snow. The majority of these elements appear to be complete, where visible,

Although a section of the roofing felt was noted to be torn and localised repairs should be completed where required.

The loft insulation is laid to the ends of eaves, restricting ventilation. The insulation material should be drawn back from the eaves to allow adequate ventilation into the loft.

Insulation is provided to a depth which falls short of current standards. Current Building Regulation standards recommend that a roof void is insulated in its entirety, with a minimum of 270mm of a fibreglass insulation material, or its equivalent, depending on how the insulation is laid. Although not enforced retrospectively, we do endorse these standards and encourage you to upgrade insulation, where practicable and possible on occupation. This should include the upper surface of the trap hatch and eaves should be kept free to provide a degree of ventilation to the roof void.

https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/697629/L1B_secure-1.pdf

In places, electrical wiring is present beneath the loft insulation. This can cause overheating and in extreme cases lead to fires. All covered cables must be re-positioned on top of the insulation.

There are no visible cold water storage tanks within the roof void.

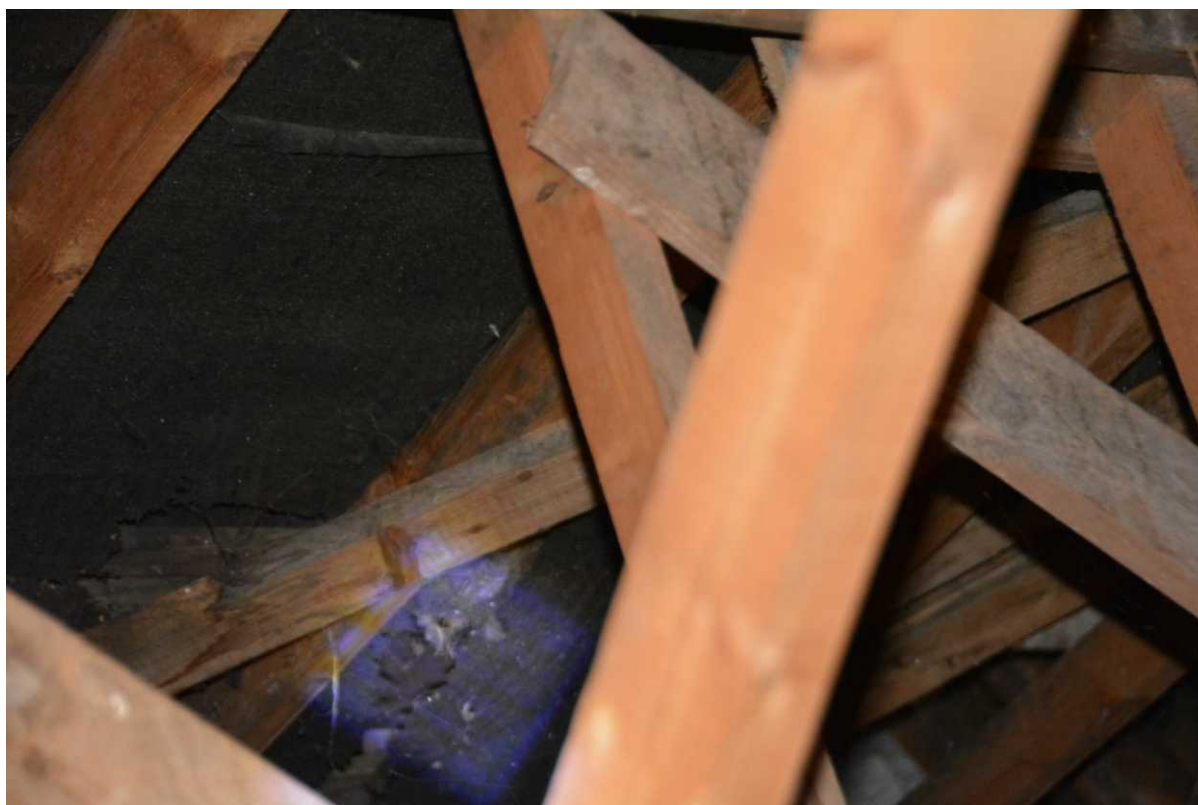
The party wall is of masonry construction and is complete and does offer satisfactory separation between the subject and adjacent property.



Trussed roof structure.



Wiring beneath insulation.



Torn felt.

E2 Ceilings

2

The ceilings have been inspected from within the rooms and no opening up has been undertaken. The nature of the ceiling materials cannot be ascertained fully without damage being caused.

The ceilings are formed in plasterboard and finished in plastered skim and timber beams.

We are pleased to report the ceilings appear to be generally complete with no signs of significant cracking, undulation or distortion noted.

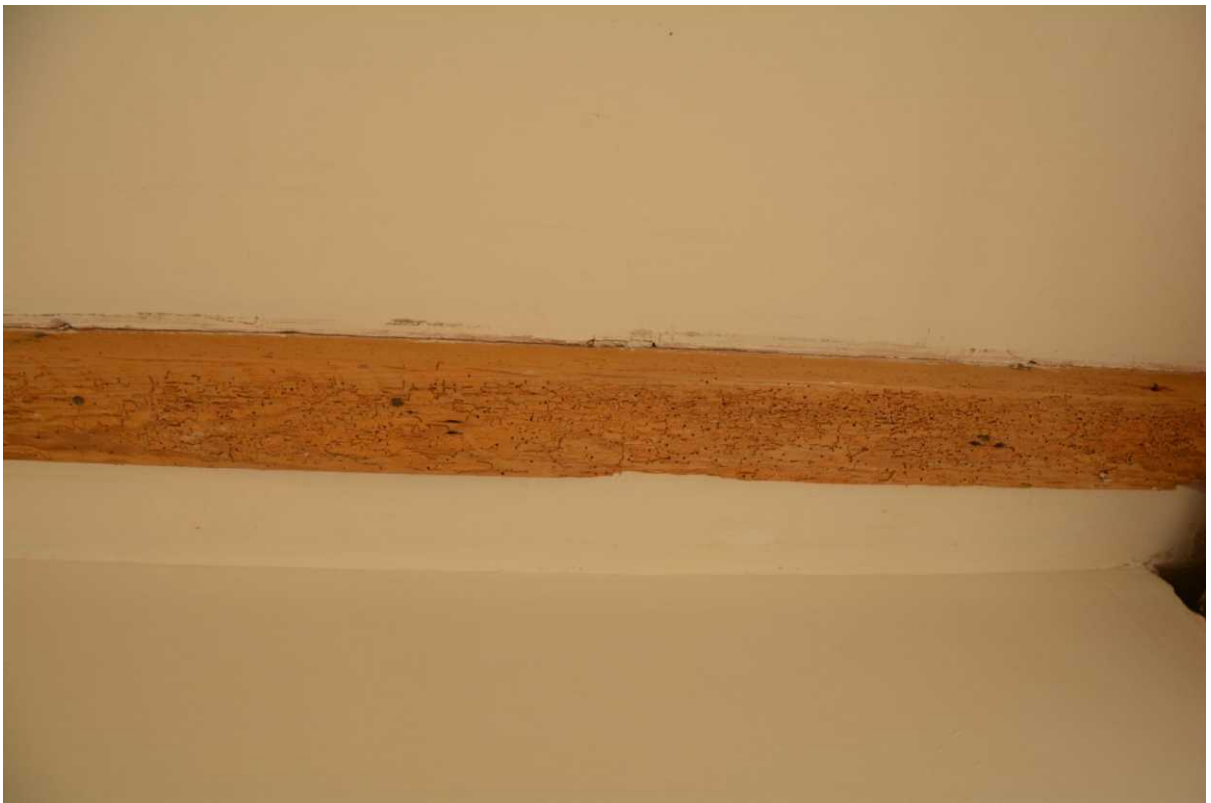
Shrinkage cracks are present but these are not unusual for this type and age of property. Cosmetic works upon redecoration will be required.

There is evidence of wood-boring insect infestation to ceiling joinery and whilst there were no signs of recent activity, you should confirm whether previous treatments have been made and if so, whether guarantees can be transferred under the sale.

There was no sign of WBI on the day of inspection.



Shrinkage crack.



Historic wood boring beetle activity.

The internal faces of the outside walls are a combination of plaster/tiles and dry lining. The latter may incorporate insulation.

Internal walls and partitions are a combination of solid and lightweight construction with a mainly plastered finish and tiled finish.

Some internal walls have been lined with plasterboard. This is often referred to as “dry lining” and is a popular method of finishing off the internal surfaces of walls as it saved on costs and reduced the drying out period when construction took place. Dry lining is where plasterboard sheets are fixed to either timber battens or dabs of plaster and then decorated over. This means that there is a gap between the plasterboard and the walls. Because of the gap, it is difficult to screw directly into the walls, although a range of proprietary fixing products can be found in DIY stores.

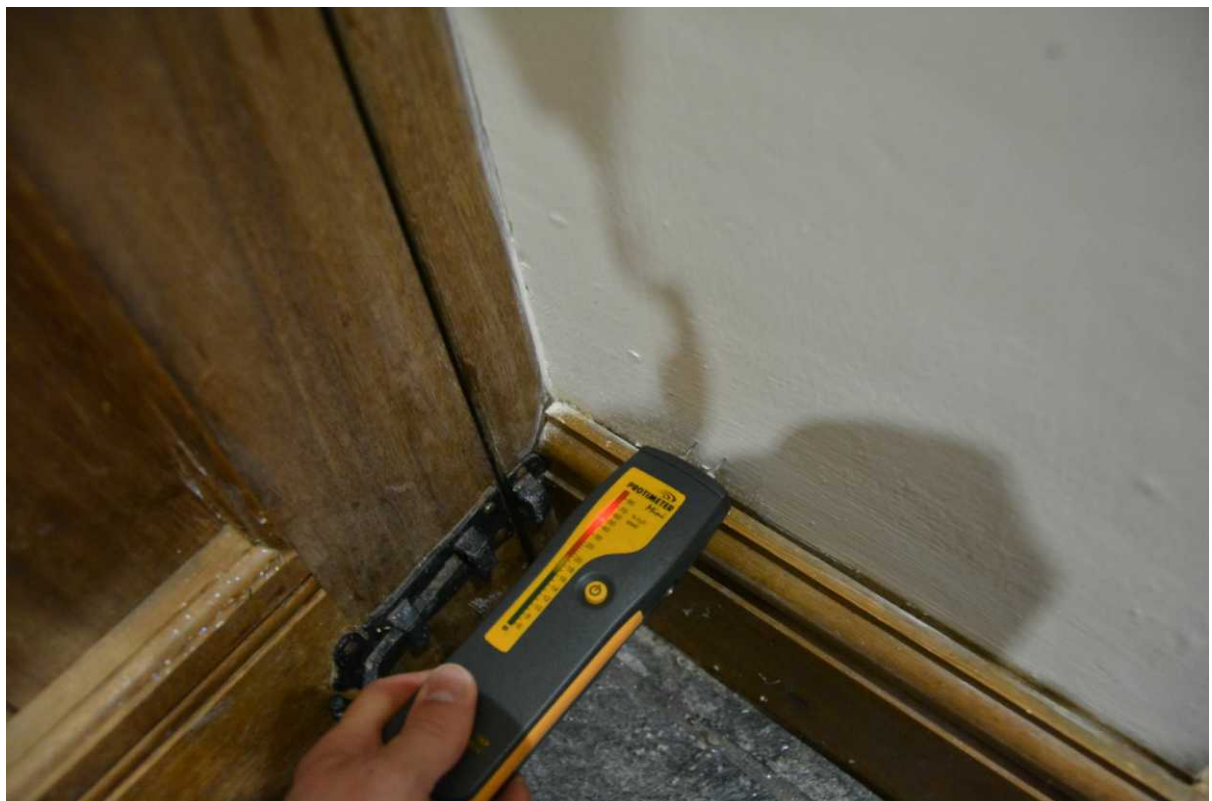
Dry lining can sometimes hide dampness. It is not possible to ascertain the condition of wall surfaces behind dry lining.

Upon removal of existing decorative surfaces there is a possibility that areas of re-plastering will be necessary prior to redecorating.

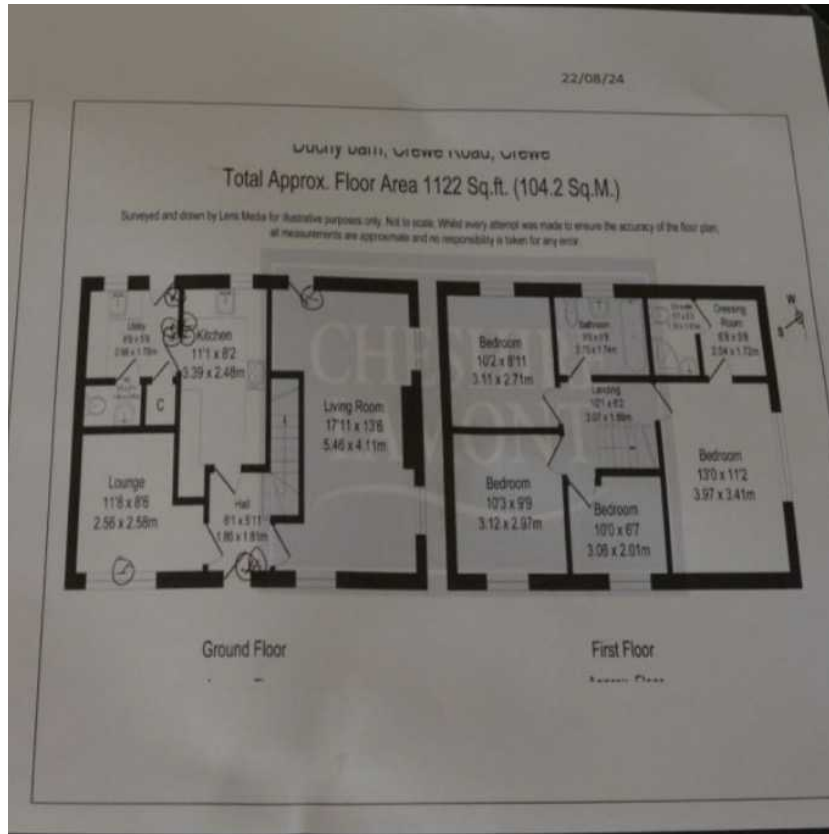
Moisture content readings were taken throughout the ground floor walls with an electronic damp meter and dampness was noted to the areas marked X on the floor plan suggesting the damp-proof course is not operating effectively and that there may be areas of penetrative dampness.

This does not constitute a complete inspection or a "damp" survey. Where readings taken are higher than normal, it is recommended you engage the services of a specialist contractor prior to exchange of contracts.

Walls and openings appear square to the eye with no signs of any movement or distortion noted.



High moisture reading.



Areas of high moisture readings marked X.

Fitted coverings where they are present inevitably restricted the detail of inspection. Comments are therefore based on selected areas where the edges of floor coverings could be turned back to give an indication of the method of construction used and its condition. The risk must be accepted that concealed defects may exist beneath the floor coverings.

Ground floors are of solid construction. As mentioned previously, the EPC register suggests that there are suspended floors within the property. However, we saw no evidence to suggest this to be the case.

Upper floors are of timber construction.

Where walked upon, suspended timber floor surfaces were subject to minor spring and unevenness but this is within acceptable limits for domestic construction and not considered to be of structural significance. Indeed, it is quite common in older properties, particularly above ground floor level.

The solid floors appear firm and level underfoot when viewed through the floor finishes.

I am unable to confirm whether the flooring in the original solid ground floors contains a damp-proof membrane or insulation. The provision of a damp-proof membrane prevents dampness from the ground beneath rising through to the interior of the property. There is the potential risk from damp penetration although there were no signs of this at the time of inspection. If the problem should arise in the future, further contractors' observations and quotations to confirm the extent of the problem and any associated remedial costs, if applicable, should be obtained.

The flooring within the living room is believed to be a timber finish installed over a solid floor structure where we cannot confirm the condition of the underlying floor structure or whether dampness or other defects are concealed by the installation.

Solid floors can consolidate after construction leading to hollows beneath the surface or in extreme cases, substantial deflection. Damage can also be caused by expansion or impurities contained within the sub-floor structure.

Ceramic tiles have been laid in the bathrooms. The majority of these tiles are currently in a sound condition but it must be recognised that they are inherently brittle and can become cracked when laid on timber flooring due to the natural springiness of the floor construction. It was noted that two tiles in the main bathroom had cracked and you may wish to budget accordingly for any remedial work required. Direct replacement of these tiles may not be available and complete recovering of the floor may be necessary.

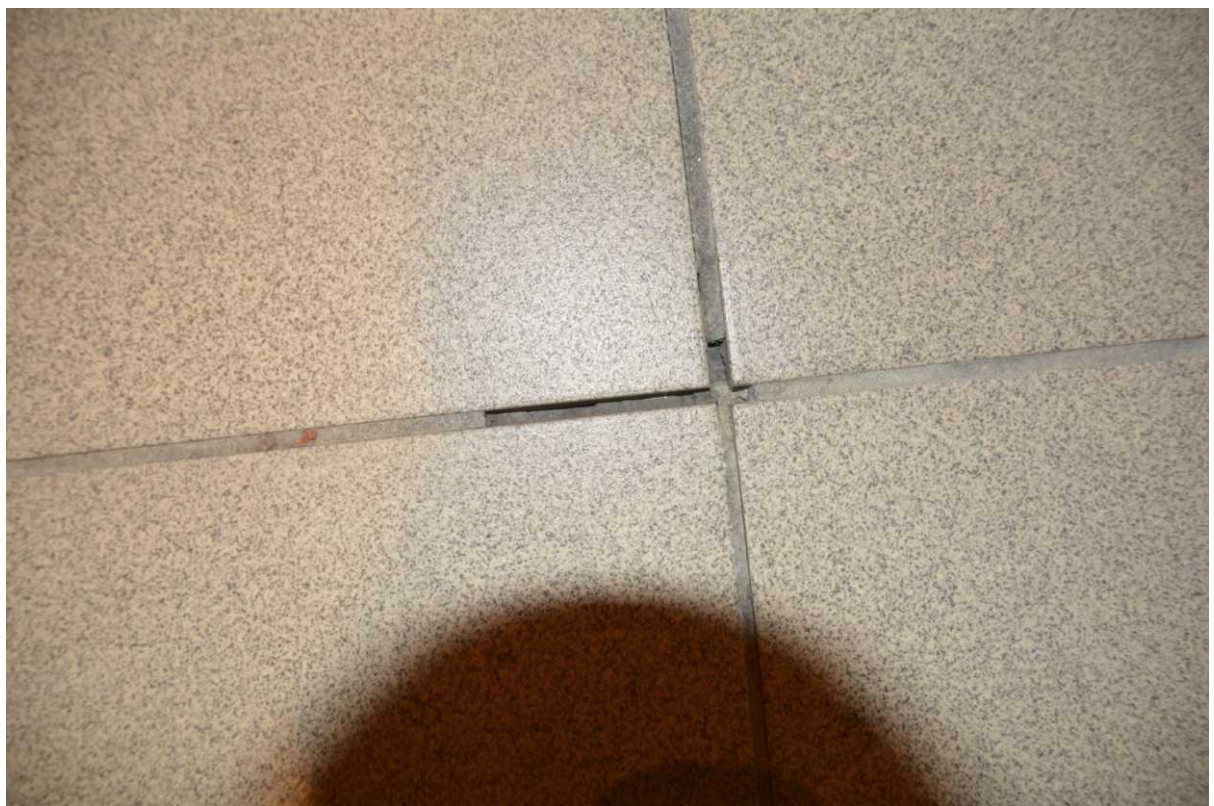
Grouting was also noted to be missing in areas of the ensuite and it would be prudent to have this repointed as soon as possible. You should budget accordingly.

The flooring beneath the sanitary fittings could not be inspected as this would involve damaging investigations which are beyond the scope of a normal survey. If there has been leakage, such as from concealed pipework or through gaps in wall tiles, or around the bath/shower, dampness may have caused serious rot in the floor. We found no evidence of decay but further investigations would be necessary to establish whether any defects exist. If such work is to be undertaken, there will be some resultant damage and appropriate contractors should be appointed to undertake this work, with the vendor's permission, so that any replacement of panelling or flooring can be carefully undertaken.

Stone flagged floors were present in the hallway and are best left uncovered, or only covered with permeable materials, in order to avoid problems of dampness and mould.



Floating timber floor.



Grouting required.



Cracked tile.

E5 Fireplaces, chimney breasts and flues

3

There is a multi-fuel appliance within the living room.

You should make enquiries with a HETAS engineer to ensure the burner complies according to Part J – Combustion Appliances and Fuel Storage Systems.

https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/468872/ADJ_LOCKED.pdf

We cannot confirm whether the flue liners have been provided where appliances are fitted to open flues and recommend that a specialist be instructed to check that the installation complies with current regulations.

The artificial chimney appears sound.



Multi-fuel burner.

E6 Built-in fittings (built-in kitchen and other fittings, not including appliances)

3

Whilst the property was unoccupied, it is difficult to confirm the condition of concealed surfaces within the kitchen or utility units if present and the risk of concealed defects exists.

The fitted units provided are relatively modern and appeared serviceable although individual units were not inspected in detail, some wear and tear was apparent in association with day to day use.

The carcassing to these units is made of chipboard, which can deteriorate if it becomes wet. It is therefore necessary to protect the chipboard by maintaining the seals and laminating coverings in good condition.

It was noted that the sealant behind the sink within the utility room was worn in areas and will need to be resealed at your earliest convenience to avoid any damages to adjacent surfaces. Staining was noted on the rear wall in the cupboard beneath the sink suggesting water penetration may be present.

Whilst ventilation is provided above the hob ideally extract ventilation to the exterior should be provided as an improvement to current arrangements.

There is a gas range fitted and you should confirm with your legal adviser whether this has any Gas Safety Certification. See Section F2 of this report.

Most of the distribution and waste pipework is concealed behind the units and leaking pipework or other defects may not be readily apparent.



Gas range fitted.



Kitchen fittings.



Sealant required.



Utility fittings.



Kitchen fittings.

E7 Woodwork (for example, staircase joinery)

3

Other internal joinery items include timber skirting boards, architraves, door frames, linings and doors and where present, staircases.

Accessible doors and windows were checked in accordance with RICS guidance to establish the ease with which they may be opened and shut.

The joinery was carefully inspected where readily accessible. No inspection has been made of built-in appliances. If the condition of these is important to your purchase, then they must be fully serviced and tested by an appropriate engineer prior to legal commitment to purchase.

It should be remembered that we have not taken out any of the kitchen appliances and cannot verify the adequacy of connections. Leaks can occur at any time between the date of survey and your taking occupation. If leaks are found when you take up occupation, you should not assume that they were visible, accessible or indeed in existence at the time of survey. Any such leaks should be promptly rectified. Removal of appliances can reveal or cause defects in plasterwork and services. This must be accepted when proceeding with your purchase.

The provision of floor coverings where present limited the extent of our inspection.

In general, the internal joinery items appear reasonably modern and serviceable. However, there was a section of soft timber noted above the upstairs large front bedroom window. Softness was also noted to the skirting boards within the kitchen where high moisture readings were taken and some minor repairs will need to be carried out prior to redecoration.

See Section E3 Walls and partitions.

The property has a timber staircase which is carpeted on the upper surface and enclosed beneath. Treads and risers appear to be firm and level and within normal tolerances, with no signs of any significant spring or undulation noted.

There is no handrail along the lower stair case and one should be installed as a safety measure.

Banisters and balustrading appear to be complete with no signs of any defect noted. The gaps between spindles are 100mm or less which will comply with current Building Regulation standards.



Softness noted to timber.



No handrail.

Please note a detailed test on bathroom installations and fittings is outside the scope of this report.

The bathroom fittings appear reasonably modern and serviceable, although some wear and tear was noted. Within the en-suite, there was a crack to the toilet seat which you may wish to replace.

With respect to bathrooms generally they should be regularly cleaned including the shower heads to prevent the harbouring of bacteria.

Shower cubicles require high levels of maintenance including regular renewal of sanitary ware seals at the base of the shower as these can be prone to deterioration and create the potential for leakages unless periodic maintenance is undertaken.

It is important to ensure that the seals to the sanitary appliances, in particular baths and showers, are maintained in good condition to avoid damage to adjacent surfaces.

Ventilation appears adequate.

The floor beneath the sanitary fittings could not be inspected as this would involve damaging investigations which are beyond the scope of a normal survey. If there has been leakage because of defective pipework, gaps in wall tiles or at the junctions between wall tiles and sanitary fittings, dampness may have caused rot damage in the floor. Further investigations are recommended prior legal commitment to purchase, to establish whether such defects exist.

The water pressure was not checked as it had been turned off. Water pressure can vary seasonally and during times of demand, both within the property and in the locality. It is recommended that should you wish to install water pressure sensitive items, such as a power shower, that further enquiries are made initially.

Most of the distribution and waste pipework is concealed beneath or behind sanitary ware items and whilst there were no obvious signs of leaks, the risk of hidden defects exists.



Crack in toilet seat.



Bathroom fittings.



Bathroom fittings.



Bathroom fittings.



Bathroom fittings.

E9 Other

2

There appears to be battery smoke detectors installed. It is recommended the smoke detectors are serviced in accordance with the manufacturer's instructions. You should also consider upgrading the installation with a mains wired system after taking occupation.

First floor windows do appear to be compliant escape windows. Current Building Regulations are not enforced retrospectively, but replacement windows should meet current standards.

There appears to be an intruder alarm fitted within the roof void for which there may be guarantees and service contract. Legal advisers to confirm.

F

Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

F

Services

Limitations on the inspection

The inspection of the services was limited to those areas which were visible. No comment can be made as to the condition of any services which are not visible. It should be appreciated that some service pipes and cables are covered, and any access panels cannot be opened without disturbing decorations, therefore a full inspection was not possible. Some pipes and cables are provided below flooring, making inspection impracticable. In such circumstances the identification of leakages, if any, may not be possible. Services have not been tested but where appropriate specific advice has been made as to the advisability of having the services inspected by a specialist contractor.

For the purposes of this report, only significant defects and deficiencies readily apparent from a visual inspection are reported. Services can only be fully assessed by testing. Building standards are continually being upgraded and older properties become increasingly out of date due to the passage of time, leading to a requirement for improved efficiency. As a consequence, there is the potential for higher running costs in older compared to newly built properties.

Safety warning for F1 Electricity: *Electrical Safety First recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice contact Electrical Safety First.*

As a general note regarding services, we are not specialised in this field. We therefore recommend that you seek specialist advice on all service matters. The items below should be regarded as a helpful comment and suggestions. They are not a full and complete assessment of any problems that may exist. You should request a copy of the most recent electrical safety certificate through your legal adviser, prior to exchange of contracts. In the absence of any paperwork you should arrange for a suitably qualified contractor to inspect the installation prior to entering into a legal commitment to purchase. You should obtain quotations for any upgrading works required.

It is impossible to fully assess the condition of an electrical installation on the basis of a visual inspection only. There are many factors relating to the adequacy of electrical installations which can only be identified by a test which covers matters relating to resistance, impedance and current

The Electrical Safety Council recommend that electrical installations should be tested on occupation or every five years.

The consumer unit and meter is located within the kitchen cupboard.

Although there were no areas of concern, a precautionary electrical inspection should be undertaken, to ensure that circuitry complies with current electrical regulations prior to a legal commitment to purchase. All recommendations should be implemented.

The electrical installation is a system which is designed to protect the users from electric shock. These installations are extremely sensitive and consequently occasional tripping of switches will occur, effectively shutting down the affected circuit. It can often result when a light bulb fails, or it may be the result of a defective appliance. When this happens, the 'trip-switch' has to be reset. If this occurs with any frequency, an electrician should be instructed to investigate.



Consumer unit.



Meter.

Safety warning for F2 Gas/oil: All gas and oil appliances and equipment should regularly be inspected, tested, maintained and serviced by a registered 'competent person' in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.

The mains gas meter is positioned on the rear elevation wall beneath the utility room window.

The Health and Safety Executive strongly advises that all gas appliances are checked for safety at least once a year. As such, you may wish to consider a check to be carried out by a Gas Safe registered engineer, although, the present vendor may be able to provide some certification for the original installation.

As a minimum, the record of a gas safety check must contain:

- A description of and the location of each appliance or flue checked.
- The name, registration number and signature of the individual carrying out the check.
- The address of the property at which the appliance or flue is installed.
- The date on which the appliance or flue was checked.
- The name and address of the occupier.
- Any defect identified, and any remedial action taken or recommended; and
- A statement confirming the gas safety check completed complies with the current requirements of the Gas Safety Regulations.

For precautionary purposes it is recommended that the gas installation be inspected by a Gas Safe registered engineer prior to legal commitment to purchase in the absence of any paperwork in the last 12 months. Please note annual gas safety checks are a statutory requirement for landlords and recommended annually during occupation. All recommendations for improvement to ensure compliance with current Gas Regulation standards should be implemented.



Gas meter.

F3 Water

(NI)

Most of the internal distribution pipework is concealed within the structure or behind fittings and whilst there were no obvious signs of significant leaks, the possibility of concealed defects exists.

There are no visible cold water storage tanks within the roof void.

Properties with a mains water supply require both internal and external stopcocks for a proper control of the incoming water supply. It is important to know the position of the stopcocks so that the water can be turned off in an emergency and when carrying out alterations to the plumbing system. They should be periodically checked to ensure that they open and close properly.

Whilst the internal stop tap was not visible, it is believed to be located behind the washing machine.

The external stop tap is believed to be located in the pavement. You should confirm whether a water meter is provided.



External stop tap.

F4 Heating

3

We have not carried out any calculations and cannot confirm the heating is adequate to achieve satisfactory temperatures. We recommend that the system be assessed and if found to be inadequate, upgrading may be required.

Central heating and hot water is provided by the gas fired boiler within the utility room cupboard. The boiler was not operating at the time of inspection.

We are not suitably qualified to comment on the state and condition of the heating installation, a test on the installation is outside the scope of this report and we have not seen documentary evidence confirming recent service history. For precautionary purposes a heating engineer should examine the hot water and heating boiler and undertake appropriate servicing, with any recommendations to be implemented.

A significant amount of the central heating pipework is buried within the construction and whilst there were no signs of leakage, this can occur undetected beneath floor finishes, particularly if pipework is not adequately protected.



Gas boiler.

F5 Water Heating

3

Hot water is provided by the gas fired combination boiler. See Section F4.

We recommend that you confirm the routes of underground drainage including surface and foul water through your legal adviser for your information and as this may impact on future development at the property.

Septic tanks work on the principle that discharged solids are collected and settled in a series of underground chambers. Naturally occurring bacteria help to break down and digest the material in the chambers. Surplus liquid is dispersed into the surrounding ground, by an arrangement of perforated or open jointed pipes or an adjacent watercourse. Whilst the correctly working septic tank should not need frequent attention, it may well be that the septic tank chambers will need periodic emptying by a drainage contractor to remove the accumulated material. Legal enquiries should be made as to the frequency of emptying. Because of the nature of the private drainage supply we recommend that further drainage engineer's examination be undertaken to ensure that the entire system is functioning satisfactorily, with any recommendations for repairs or preventative maintenance to be implemented.

Please note that general binding rules for cesspits/septic tanks have changed. Any renewal of the tank must be with a treatment plant.

For more information see https://www.wte-ltd.co.uk/septic_tank_general_binding_rules_2020.html

Inspection chambers were inspected where accessible and no problems or defects were recorded and there were no blockages or fractures evident within the installation. The absence of any obvious problems within the chambers does not necessarily mean that the concealed parts are free from defects. Without a full inspection by a drainage specialist you must accept the risk of such defects existing.

The soil and vent pipe is ducted internally and therefore hidden from view.



Septic tank.

F7 Common Services

Ⓝ

Not applicable.

G

**Grounds
(including shared areas for flats)**

G

Grounds (including shared areas for flats)

Limitations on the inspection

Comment cannot be given on areas that are covered, concealed or not otherwise readily visible. There may be detectable signs of concealed defects, in which case recommendations are made in the report. In the absence of any such evidence it must be assumed in producing this report that such areas are free from defect. If greater assurance is required on these matters, it will be necessary to carry out exposure works. Unless these are carried out prior to a legal commitment to purchase, there is a risk that additional defects and consequent repair costs will be discovered at a later date.

We have not carried out any geological survey or invasive site investigation and cannot confirm the nature or characteristics of the soil with regard to fill or possible contamination. Normal legal searches should confirm the past use of the site and if instructed, we will advise further.

The gardens are somewhat mature which can conceal invasive plant species, preventing visual identification at the time of our inspection. We take no responsibility for any noxious weeds or knotweed, including Japanese Knotweed or Ragwort, which may exist within the site and you should arrange for your own inspection to be carried out in this regard.

G1 Garage

(NI)

There is no garage provided with the property.

G2 Permanent outbuildings and other structures

(NI)

Timber outhouses such as sheds and summerhouses are considered to be temporary and beyond the scope of the report and have not been inspected.

There were no substantial outbuildings with the property.

There is no evidence of previous flooding although further advice is available via the Environment Agency website and through your local searches.

Road noise was apparent during our inspection and this may be worse during peak times. The driveway/paths and patio may be slippery in wet or icy conditions.

There is a shared driveway, which is in overall reasonable condition at present and for which there may be shared maintenance costs; legal advisers to confirm.

It is recommended that a certified copy of the Deed Plans be obtained and boundaries checked on site, with any discrepancies investigated further, to assist in reducing the possibility of boundary disputes with adjoining owners.

Responsibilities for boundaries are unknown and repair liabilities should be investigated further.

Whilst there was no evidence of any adverse easements, servitudes or wayleaves affecting the property your legal advisers should be asked to verify. See Section H3.

Boundaries are provided with a combination of timber fencing/wire fencing/hedging and masonry walls. Much of the boundaries were concealed and you should anticipate that ongoing maintenance and repair will be required.

There are either retaining walls or boundary walls and these types of feature require high levels of maintenance and are currently in reasonable condition.

H

Issues for your legal advisers

We do not act as a legal adviser and will not comment on any legal documents. However, if, during the inspection, we identify issues that your legal advisers may need to investigate further, we may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows). You should show your legal advisers this section of the report.

Issues for your legal advisers

H1 Regulation

No formal planning search has been carried out with the local District Council in respect of the subject property. It is assumed that there are not any outstanding applications on the property described above and we assume that all conditions and statutory requirements have been complied with.

I assume that there are no public rights of way running over the property and this detail should be confirmed by your legal adviser in advance of exchange of contracts.

I am not aware of the content of any environmental audit or other environmental investigation or survey which may have been carried out on the property and which may draw attention to any contamination or the possibility of any such contamination.

In undertaking this instruction, it is assumed that no contaminative or potentially contaminative use has ever been carried out on the property.

No investigation has been carried out into past or present uses on either the property, or any neighbouring land, to establish whether there is any contamination, or potential for contamination, to the subject property from these uses or sites and we have, therefore, assumed that none exists.

You should confirm that the alterations to the property have appropriate Planning Consent and Building Regulation Certification, where applicable. Please note that a lack of adequate documentation can lead to problems on resale.

Confirm the usual permitted development rights exist in respect of alterations which did not require planning consent.

H2 Guarantees

Confirm if there is a service contract for the intruder alarm.

H3 Other matters

Your legal adviser should advise on your rights and obligations in relation to:-

Your maintenance responsibilities in respect of the boundaries.

Any rights or responsibilities for the maintenance and upkeep of jointly used services including drainage, gutters, downpipes and chimneys should be established.

The right for you to enter adjacent property to maintain any structure situated on or near the boundary and any similar rights your neighbour may have to enter on to your property

Any responsibilities to maintain access roads and driveways, which may not be adopted by the

Local Authority, should be established.

Investigate if any fire, public health or other requirements or regulations are satisfied and that up to date certificates are available.

Investigate any proposed use of adjoining land and clarify the likelihood of any future type of development which could adversely affect this property.

Where there are trees in the adjacent gardens which are growing sufficiently close to the property to cause possible damage, we would suggest that the owners are notified of the situation.

Whilst there were clearly defined physical boundaries to the site, these may not necessarily lie on the legal boundaries. These matters should be checked through your legal advisers.

You should obtain all guarantees relevant to the property, including matters such as replacement glazing, damp-proof course etc. The guarantees should be formally assigned to you and preferably indemnified against eventualities such as contractors going out of business.

The tenure is assumed to be Freehold, or Long Leasehold subject to nil or nominal Chief or Ground Rent. Your legal adviser should confirm all details.

Confirmation should be obtained that all mains services are indeed connected.

Complete utility search of drainage installation.

Confirm maintenance responsibilities for the shared driveway.

Confirm all Statutory Approvals for all alteration and construction work. Obtain copies of all Approved Plans for any alterations or extensions to the property if applicable.

Confirm the usual permitted development rights apply to the property if applicable.

It is understood that the property could be Listed or within a Conservation Area or both. This imposes additional responsibilities in terms of maintenance and alterations either internally or externally. Enquiries should be made initially with the Local Planning Authority in order to seek further guidance if work is proposed. Your legal advisers should provide further advice on such restrictions prior to a legal commitment to purchase.

I am not aware if any radon gas checks have been undertaken within the subject property.

I completed a desktop study which revealed the property to be located in an area where the likelihood of radon is at its lowest. It is not possible in the course of a building survey to determine whether radon gas is present in any given building, as the gas is invisible and odourless. Tests can be carried out to assess the level of radon in the building at a small charge. It is understood there is a testing period, possibly lasting several months, which does not appear to be required in this instance.

Confirm no previous flooding through your searches.

My desktop survey confirmed the property to be within flood zone 1 where the risk of flooding is minimal although further advice is available through the Environment Agency website and via your local searches

My desktop survey confirmed that the property is not within an area of past mining activity.

My desktop survey confirmed that the property is within Cheshire Brine Compensation District.

My desktop survey revealed the property to be located on subsoil conditions, where ground conditions are stable given normal conditions. However, the top soil is of type which may be subject to seasonal change and it is therefore important to ensure drainage connections are sound and that trees and shrubs within influencing distance of the property are regularly maintained in order that ground conditions remain as stable as possible.

General advice can be obtained from the local Police authority with respect to the security measures.

I strongly advise prior to exchange of contracts that you return to the property on a number of occasions, particularly in the evening and at weekends in an attempt to establish who your neighbours are and whether the way in which they use and occupy their property will produce unreasonable levels of sound transmission which could affect your quiet enjoyment of the property. I recommend that formal legal enquiries should be made of the vendor to determine whether any previous problems with noisy neighbours or indeed other disputes have been encountered by them during the period of their ownership.

You should immediately pass a copy of this report to your legal adviser with the request that, in addition to the necessary standard searches and enquiries, they check and confirm each and every one of the items referred to above.



Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition-rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and not be reasonably changed.



Risks

I1 Risks to the building

See main body of report.

I2 Risks to the grounds

See main body of report.

I3 Risks to people

Confirm the fuel burning appliance complies with HEATS requirements prior to purchase.

Confirm whether concealed asbestos is present to the roof edge materials.

Install handrail to stairs prior to occupation.

Precautionary test of the electrical installation.

Slippery surfaces present, use with care.

Test gas appliances prior to use.

Test Heating installation.

Within the roof void place wiring beneath insulation over the insulation in order they do not overheat.

Upgrade battery to mains wired smoke detectors.

I4 Other risks or hazards

None.

J

Energy matters

This section describes energy related matters for the property as a whole. It takes into account a broad range of energy related features and issues already identified in the previous sections of this report, and discusses how they may be affected by the condition of the property.

This is not a formal energy assessment of the building but part of the report that will help you get a broader view of this topic. Although this may use information obtained from an available EPC, it does not check the certificate's validity or accuracy.

J

Energy Matters

J1 Insulation

EPC Register states wall insulation is Poor.
Roof insulation is Good.
Double glazing is Average.
Recommendation is to improve internal or external wall and floor insulation.

J2 Heating

EPC Register states main heating and hot water is Good.
Recommendation is for solar water heating.

J3 Lighting

EPC Register states low energy lighting is Very Poor.
Recommendation is to increase low energy lighting outlets to 100%.

J4 Ventilation

No recommendations on EPC.
Please refer to Ventilation recommendations in the main body of the report.

J5 General

Solar photovoltaic panels are an additional recommendation mentioned in the EPC. After completing the recommended steps the potential saving is £451 PA.
All data provided from EPC Register and we cannot confirm their accuracy.
Potential rating after improvements B 82.

K

Surveyor's declaration



Surveyor's declaration

Surveyor's RICS number

6685548

Phone number

07720 636365

Company

SMRE Property Ltd

Surveyor's address

West Mead, Manor Road, Thornton Hough, Wirral, CH63 1JA.

Year	Establishment	Qualification
2019	RICS	MRICS
2019	RICS	VRS

Email

info@smreproperty.com

Website

www.smreproperty.com

Property address

West Mead
Manor Road
Wirral
Merseyside
United Kingdom
CH63 1JA

Client's name

SMRE Property

Date this report was produced

24th Jul 2025

I confirm that I have inspected the property and prepared this report.

James

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What to do now

Further investigations and getting quotes

We have provided advice below on what to next, now that you have an overview of any work to be carried out on the property. We recommend you make a note of any quotations you receive. This will allow you to check the amounts are in line with our estimates, if cost estimates have been provided.

Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified. You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for;
- describe in writing exactly what you will want them to do; and
- get the contractors to put their quotations in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

Further investigations and what they involve

If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation.

Who you should use for these further investigations

You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.



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**Description of the RICS Home Survey -
Level 3 service and terms of
engagement**

Description of the RICS Home Survey service and terms of engagement

The service

The Home Survey - Level 3 Service includes:

- a thorough inspection of the property (see 'The inspection') and
- a detailed report based on the inspection (see 'The report').

The surveyor who provides the Home Survey - Level 3 Service aims to give you professional advice to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading the property;
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects;
- propose the most probable cause(s) of the defects based on the inspection and
- where practicable and agreed, provide an estimate of costs and likely timescale for identified repairs and necessary work.

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

The inspection

The surveyor carefully and thoroughly inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open up the fabric of the building without occupier/owner consent, or if there is a risk of causing personal injury or damage. This includes taking up fitted carpets and fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although thermal insulation is not moved, small corners should be lifted so its thickness and type, and the nature of underlying ceiling can be identified (if the surveyor considers it safe to do). The surveyor does not move stored goods or other contents.

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests other than through their normal operation in everyday use. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources. It also does not investigate the plumbing, heating or drainage installations (or whether they meet current regulations); or the internal condition of any chimney, boiler or other flue.

Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access (e.g. a creeper plant prevents closer inspection), these are reported and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are also treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally or externally, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

Flats

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access and communal areas (for example, shared hallways and staircases that lead directly to the subject flat) and roof spaces, but only if they are accessible from within or owned by the subject flat or communal areas. The surveyor also inspects (within the identifiable boundary of the subject flat) drains, lifts, fire alarms and security systems, although the surveyor does not carry out any specialist tests other than their normal operation in everyday use. External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended prior to legal commitment to purchase.

Dangerous materials, contamination and environmental issues

The surveyor makes enquiries about contamination or other environmental dangers. If the surveyor suspects a problem, they recommend a further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction, and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within The Control of Asbestos Regulations 2012 ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in the regulations), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the dutyholder.

The report

The surveyor produces a report of the results of inspection for you to use, but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report is aimed at providing you with a detailed understanding of the condition of the property to allow you to make an informed decision on serious or urgent repairs, and on the maintenance of a wide range of reported issues.

Condition ratings

The surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows.

R - Documents we may suggest you request before you sign contracts.

Condition rating 3 - defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property. Written quotations for repairs should be obtained prior to legal commitment to purchase.

Condition rating 2 - defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.

Condition rating 1 - no repair is currently needed. The property must be maintained in the normal way.

NI - Elements not inspected.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the RICS Home Survey – Level 3 service for the property. Where the EPC has not been made available by others, the surveyor will obtain the most recent certificate from the appropriate central registry where practicable. If the surveyor has seen the current EPC, they will review and state the relevant energy efficiency rating in this report. Where possible and appropriate, the surveyor will include additional commentary on energy-related matters for the property as a whole in the energy efficiency section of the report, but this is not a formal energy assessment of the building. Checks will be made for any obvious discrepancies between the EPC and the subject property, and the implications will be explained to you. As part of the Home Survey – Level 3 Service, the surveyor will advise on the appropriateness of any energy improvements recommended by the EPC.

Issues for legal advisors

The surveyor does not act as a legal adviser and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed. The RICS Home Survey – Level 3 report will identify risks, explain the nature of the problems and explain how the client may resolve or reduce the risk.

If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisers.

Standard terms of engagement

1 The service - The surveyor provides the standard RICS Home Survey – Level 3 service described in this section, unless you agree with the surveyor in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- schedules of works
- supervision of works
- re-inspection
- detailed specific issue reports
- market valuation and re-instatement cost, and
- negotiation.

2 The surveyor - the service will be provided by an AssocRICS, MRICS or FRICS member of the Royal Institution of Chartered Surveyors (RICS), who has the skills, knowledge and experience to survey, value and report on the property.

3 Before the inspection - before the inspection, you should tell us if there is already an agreed or proposed price for the property, and if you have any particular concerns about the property (such as a crack noted above the bathroom window or any plans for extension).

This period forms an important part of the relationship between you and the surveyor. The surveyor will use reasonable endeavours to contact you to discuss your particular concerns regarding the property and explain (where necessary) the extent and/ or limitations of the inspection and report. The surveyor also carries out a desktop study to understand the property better.

4 Terms of payment - you agree to pay the surveyor's fee and any other charges agreed in writing.

5 Cancelling this contract - you should seek advice on your obligations under The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013 ('the Regulations') and/or the Consumer Rights Act 2015 in accordance with section 2.6 of the current edition of the Home survey standard RICS professional statement.

6 Liability - the report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Note: These terms form part of the contract between you and the surveyor.

This report is for use in the UK.

Complaints handling procedure

The surveyor will have a complaints handling procedure and will give you a copy if you ask. The

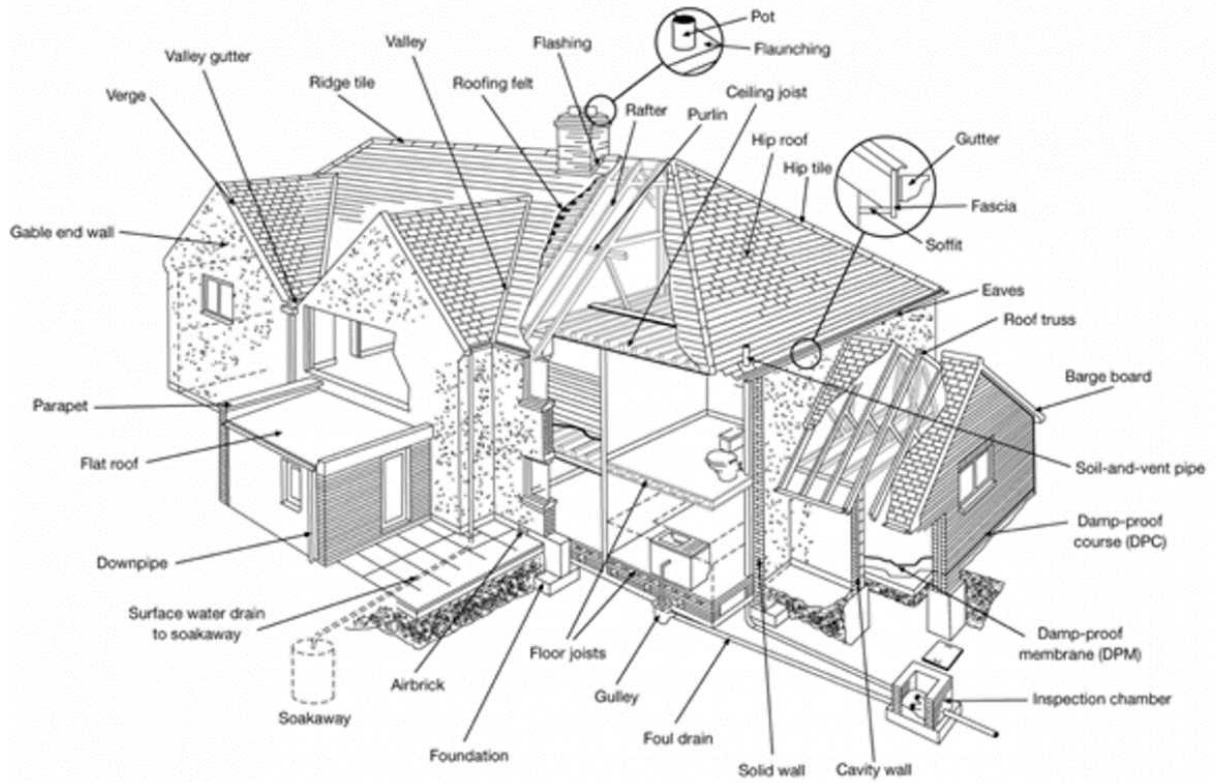
surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor and ask for it to be supplied.

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Typical house diagram

Typical house diagram

This diagram illustrates where you may find some of the building elements referred to in the report.



RICS disclaimer

You should know...

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